23/3385M Land adjacent to17, AVONSIDE WAY, MACCLESFIELD, SK11 8BY

For Jon Wynne

28.02.2024

- first issue 05.09.2023

1- revised design for planning 10.01.2024 2- east boundary updated 28.02.2024

FOR PLANNING PERMISSION

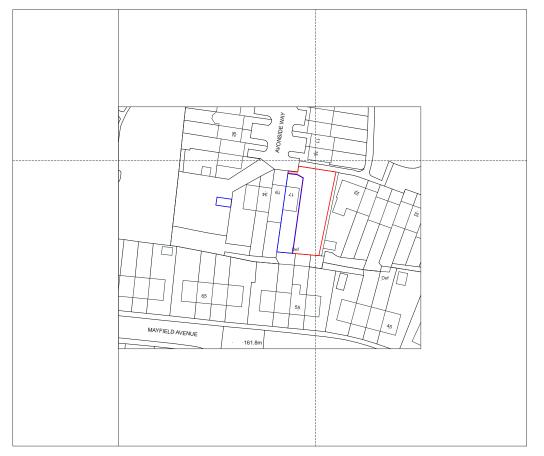
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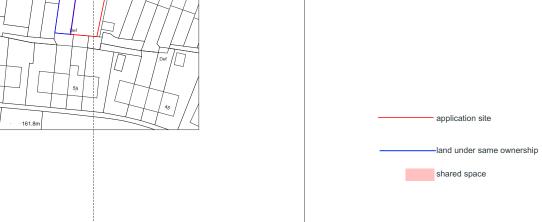
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LOCATION PLAN

Scale: 1:1250@A4



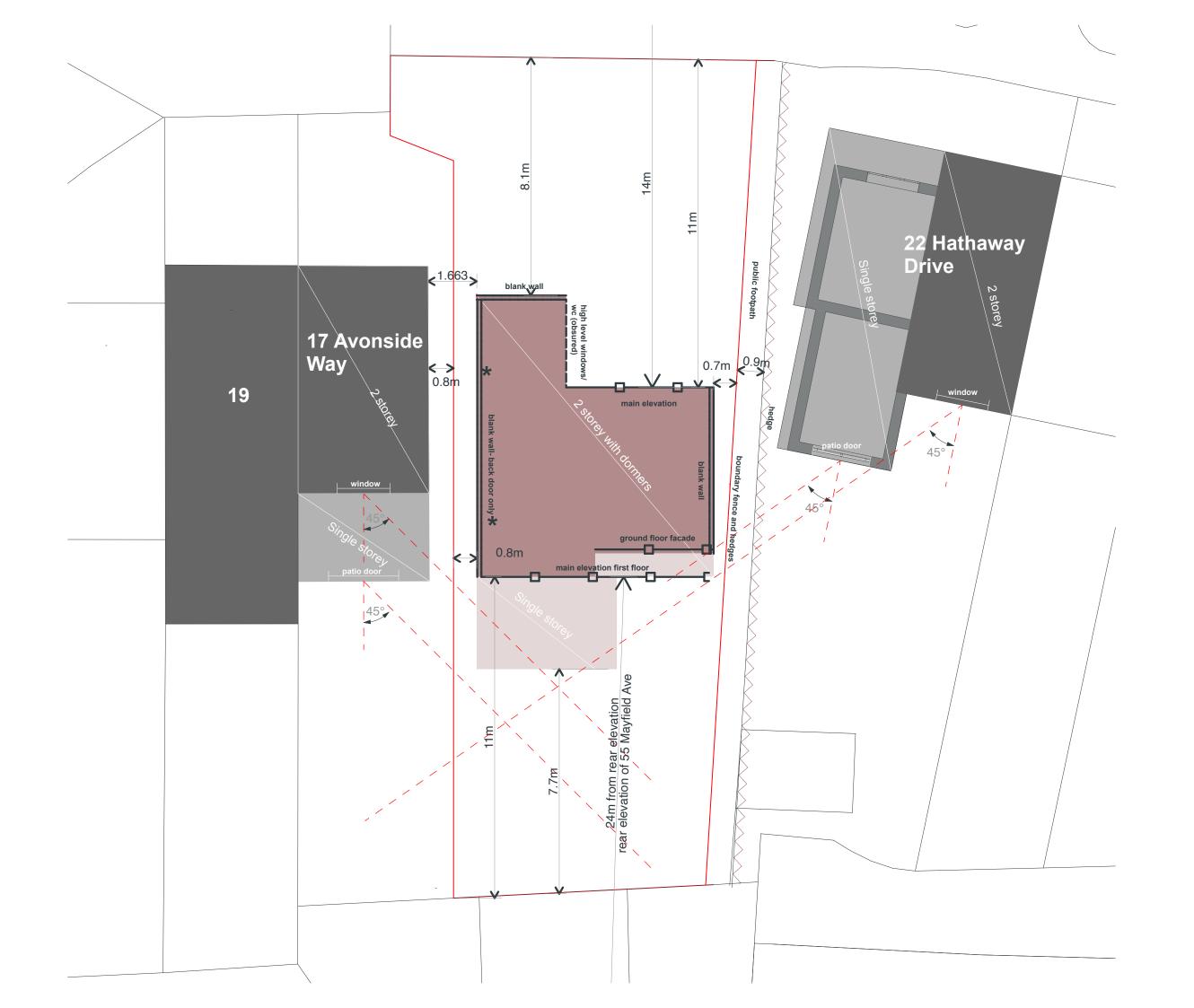


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BANDARCHITECTS

17 AVONSIDE WAY MACCLESFIELD CHESHIRE **ENGLAND**

For Jon Wynne

2- east boundary updated 28.02.2024

FOR PLANNING PERMISSION

Scale: 1:200@A4



BANDARCHITECTS

LAND ADJACENT TO 17 AVONSIDE WAY MACCLESFIELD CHESHIRE **ENGLAND**

For Jon Wynne

First issue 05.09.2023

1- revised design for planning 10.01.2024

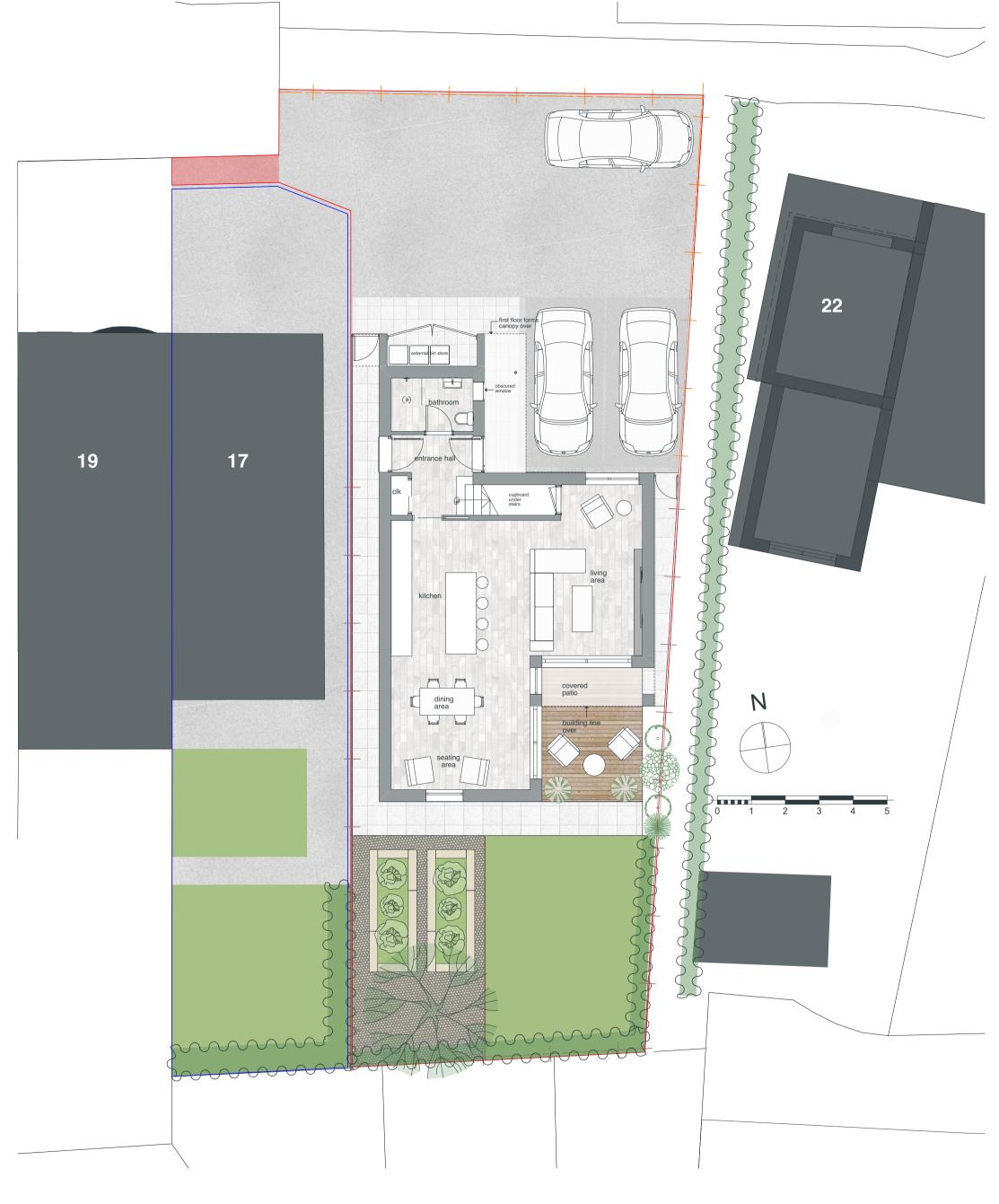
2- revised design for planning 15.02.2024

3- east boundary updated 28.02.2024

PROPOSED SITE PLAN

FOR PLANNING PERMISSION

Scale: 1:200@A4





For Jon Wynne

Generally:

Generally:

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28.02.2024

Revision:

- first issue 05.09.2023 1- revised design for planning 10.01.2024 2- revised design for planning 15.02.2024 3- east boundary updated 28.02.2024

Title:

PROPOSED **GROUND FLOOR PLAN**

Drawing No:

FOR PLANNING PERMISSION

Scale: 1:100@A3

For Jon Wynne

15.02.2024

- first issue 05.09.2023

1- revised design for planning 10.01.2024 2- revised design for planning 15.02.2024

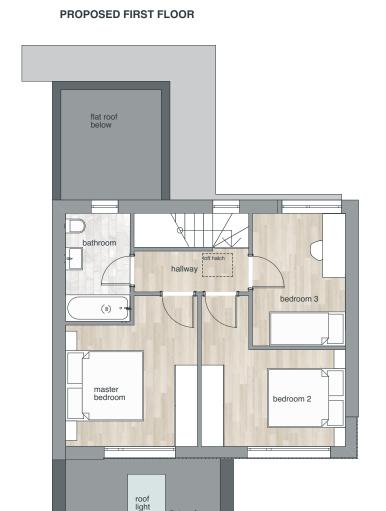
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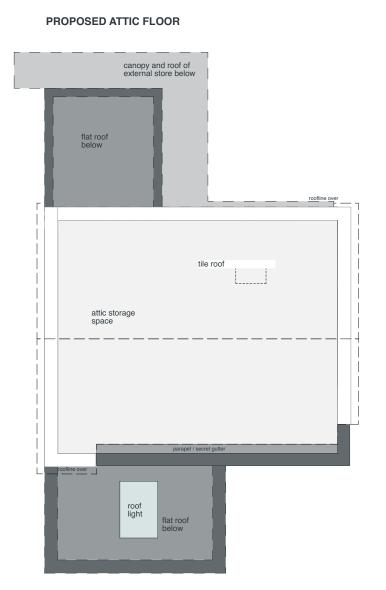
PROPOSED FIRST AND ATTIC FLOOR PLAN

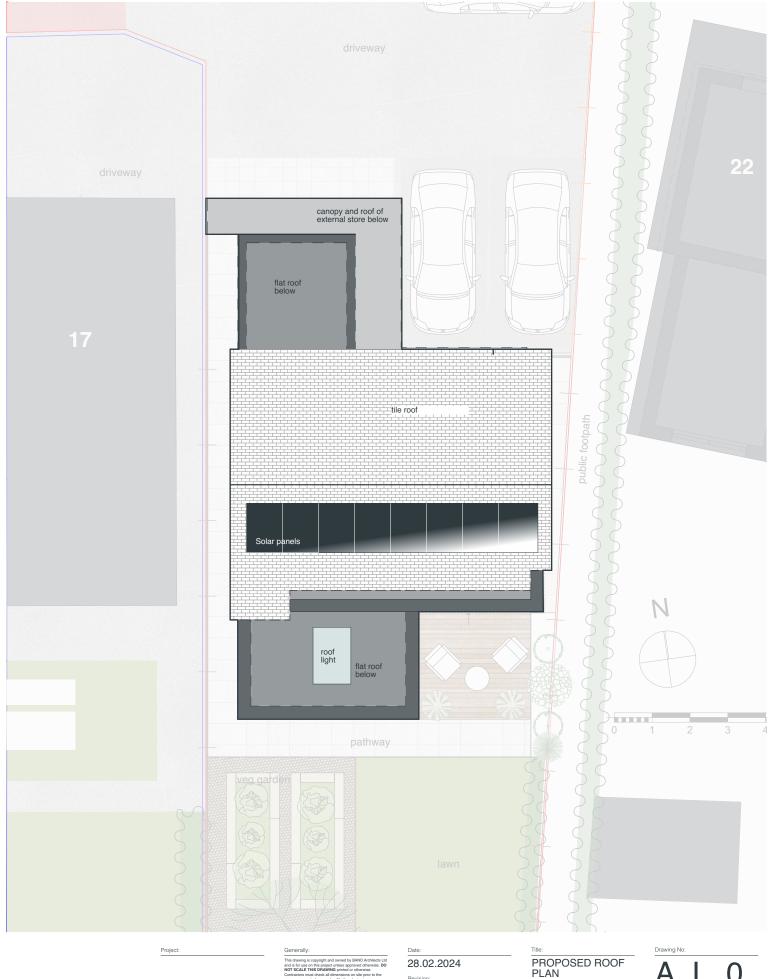
Scale: 1:100@A4



flat roof

below







For Jon Wynne

28.02.2024

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2- revised design for planning 15.02.2024

3- east boundary updated 28.02.2024

FOR PLANNING PERMISSION

Scale: 1:100@A4



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LAND ADJACENT TO 17 AVONSIDE WAY MACCLESFIELD CHESHIRE ENGLAND

For Jon Wynne

D:

15.02.2024

Revisio

- first issue 05.09.2023

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FOR PLANNING PERMISSION

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Titl

PROPOSED NORTH (FRONT) ELEVATION

Drawing N

A_L_0 3_10

Scale: 1:100@A4



- 1. Timber cladding black
- 2. Obscured UPVC double glazed window black frames
- 3. Red masonry
- 4. Timber doors to external store- black
- 5. UPVC double-glazed windows and doors black frames
- 6. Close boarded treated timber fence
- 7. Concrete tile roof in grey
- 8. PPC aluminium flashings and trims black
- $9. \ \textbf{UPVC} \ \textbf{or aluminium verge}, \textbf{soffit} \ \textbf{and fascia cladding with matching rainwater goods-black}$
- 10. Close boarded treated timber gate
- 11. Composite front door black

For Jon Wynne

D:

15.02.2024

Revisio

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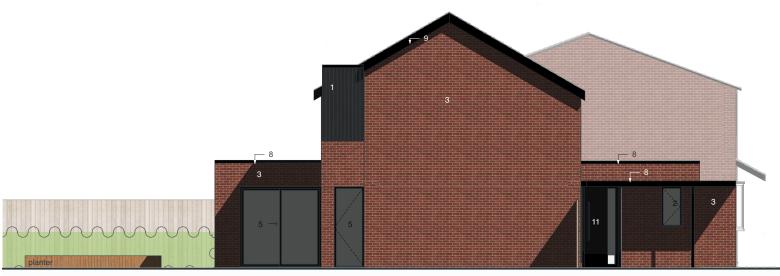
Titl

PROPOSED EAST ELEVATION

Drawing No

A_L_0 3_11

Scale: 1:100@A4



- 1. Timber cladding black
- 2. Obscured UPVC double glazed window black frames
- 3. Red masonry
- 4. Timber doors to external store- black
- 5. UPVC double-glazed windows and doors black frames
- 6. Close boarded treated timber fence
- 7. Concrete tile roof in grey
- 8. PPC aluminium flashings and trims black
- $9. \ \textbf{UPVC} \ \textbf{or aluminium verge}, \textbf{soffit} \ \textbf{and fascia cladding with matching rainwater goods-black}$
- 10. Close boarded treated timber gate
- 11. Composite front door black



Project:

LAND ADJACENT TO 17 AVONSIDE WAY MACCLESFIELD CHESHIRE ENGLAND

For Jon Wynne

Date

15.02.2024

Revisio

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FOR PLANNING PERMISSION

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PROPOSED SOUTH (REAR) ELEVATION

Drawing N

A_L_0 3_12

Scale: 1:100@A4



- 1. Timber cladding black
- 2. Obscured UPVC double glazed window black frames
- 3. Red masonry
- 4. Timber doors to external store- black
- 5. UPVC double-glazed windows and doors black frames
- 6. Close boarded treated timber fence
- 7. Concrete tile roof in grey
- 8. PPC aluminium flashings and trims black
- 9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
- 10. Close boarded treated timber gate
- 11. Composite front door black
- 12. Solar panels



For Jon Wynne

15.02.2024

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PROPOSED WEST ELEVATION

Scale: 1:100@A4



- 1. Timber cladding black
- 2. Obscured UPVC double glazed window black frames
- 3. Red masonry
- 4. Timber doors to external store- black
- 5. UPVC double-glazed windows and doors black frames
- 6. Close boarded treated timber fence
- 7. Concrete tile roof in grey
- 8. PPC aluminium flashings and trims black
- 9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
- 10. Close boarded treated timber gate
- 11. Composite front door black