

23/3385M

Land adjacent to17,

AVONSIDE WAY, MACCLESFIELD,

SK11 8BY

Project:

LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND

For Jon Wynne

Date:

28.02.2024

Revision:

- first issue 05.09.2023

1- revised design for planning 10.01.2024

2- east boundary updated 28.02.2024

FOR PLANNING PERMISSION

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been reported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been co-ordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

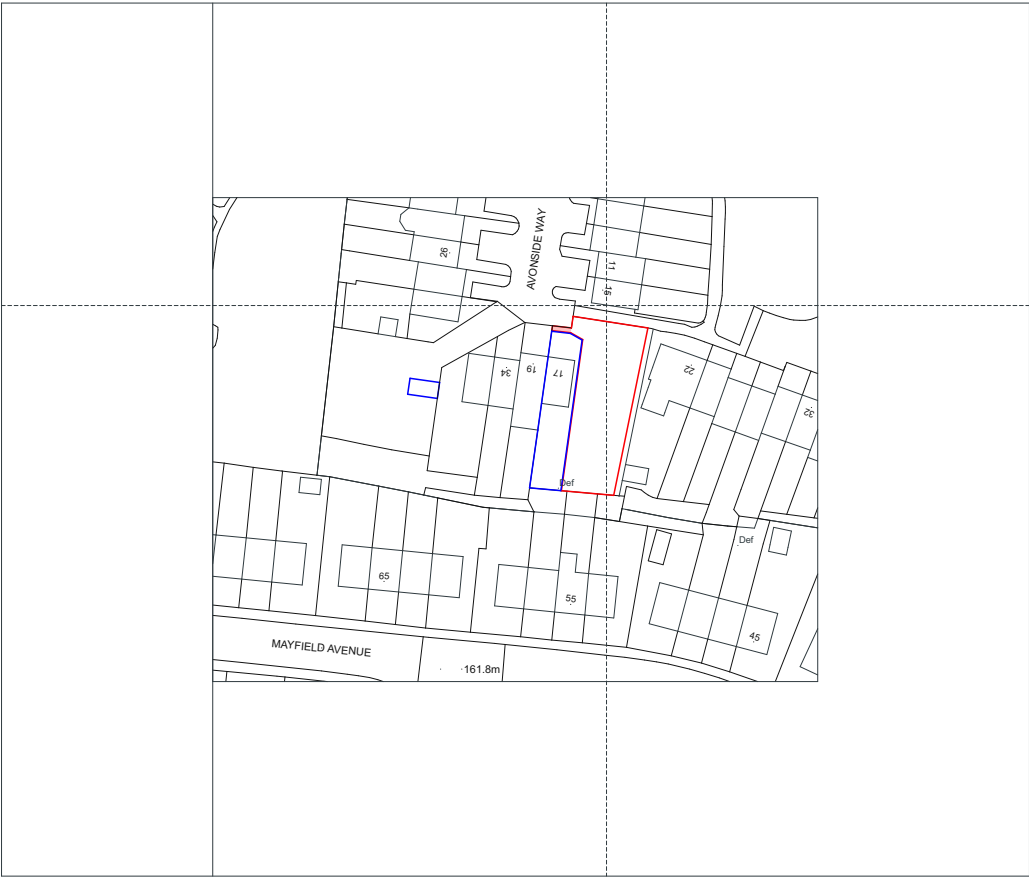
Title:

LOCATION PLAN

Drawing No:

A\_L\_0  
1\_01

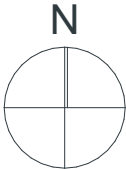
Scale: 1:1250 @A4

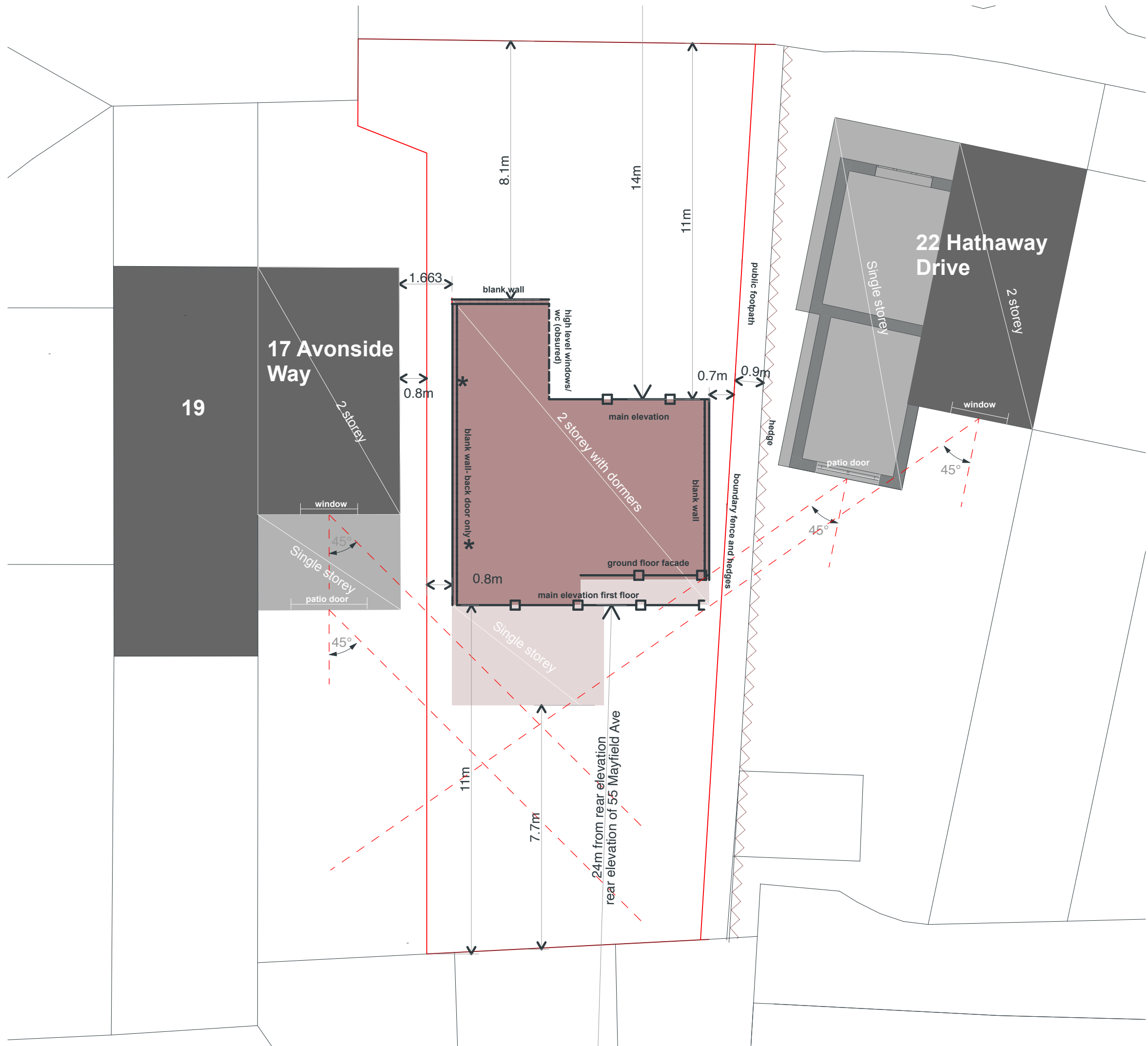


application site

land under same ownership

shared space





AVONSIDE WAY



Project:

**LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND**

For Jon Wynne

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been imported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been coordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Date:

**28.02.2024**

Revision:

- first issue 05.09.2023  
1- revised design for planning 10.01.2024  
2- east boundary updated 28.02.2024

Title:

**EXISTING SITE  
PLAN**

**FOR PLANNING PERMISSION**

Drawing No:

**A\_L\_0  
1\_02**

Scale: **1:200@A4**

BANDARCHITECTS



AVONSIDE WAY

19

17

22

- low ht. close boarded treated timber fence- 0.9m high
- close boarded treated timber fence- 1.8m high with matching gates
- application site
- shared space
- land under same ownership
- grass/ lawn
- resin or tarmac
- concrete pavements
- gravel
- decking
- planting/ shrubs/ hedges
- proposed tree



0 1 2 3 4 5

Project:

**LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND**

For Jon Wynne

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been imported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been coordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Date:

**28.02.2024**

Revision:

- first issue 05.09.2023  
1- revised design for planning 10.01.2024  
2- revised design for planning 15.02.2024  
3- east boundary updated 28.02.2024

Title:

**PROPOSED SITE  
PLAN**

**FOR PLANNING PERMISSION**

Drawing No:

**A\_L\_0  
1\_10**

Scale: 1:200@A4

BANDARCHITECTS







BANDARCHITECTS



Project:

LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND

For Jon Wynne

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been imported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been co-ordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Date:

28.02.2024

Revision:

- first issue 05.09.2023  
1- revised design for planning 10.01.2024  
2- revised design for planning 15.02.2024  
3- east boundary updated 28.02.2024

Title:

PROPOSED  
GROUND FLOOR  
PLAN

FOR PLANNING PERMISSION

Drawing No:

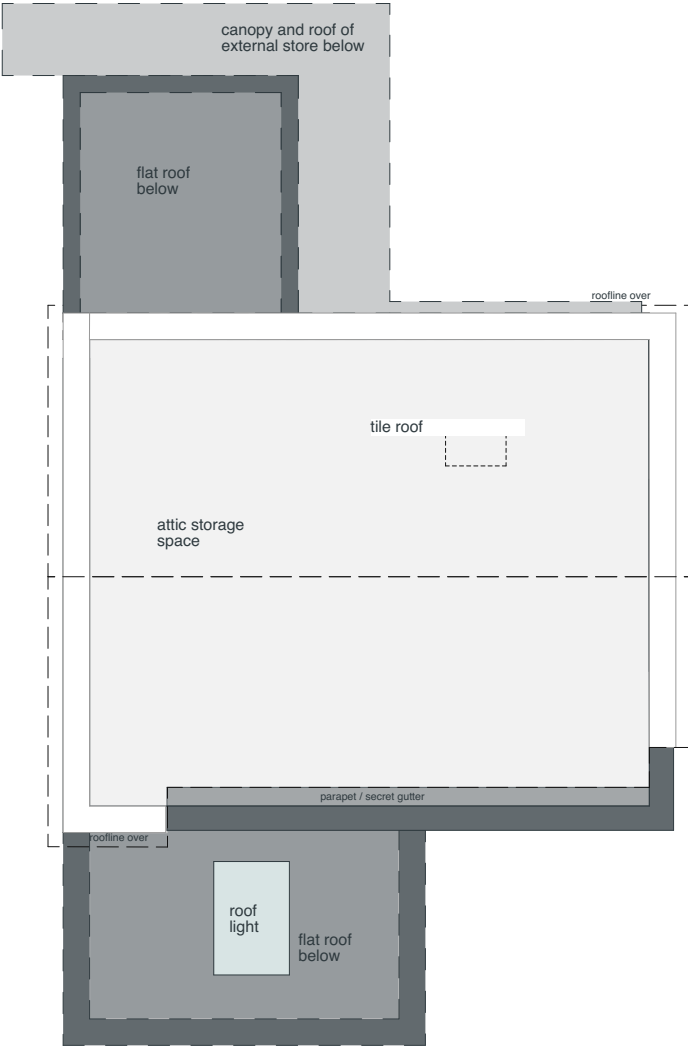
A\_L\_0  
2\_11

Scale: 1:100@A3

PROPOSED FIRST FLOOR



PROPOSED ATTIC FLOOR



Project:

LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND

For Jon Wynne

Date:

15.02.2024

Revision:

- first issue 05.09.2023  
1- revised design for planning 10.01.2024  
2- revised design for planning 15.02.2024

FOR PLANNING PERMISSION

Generally:  
This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been reported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been co-ordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

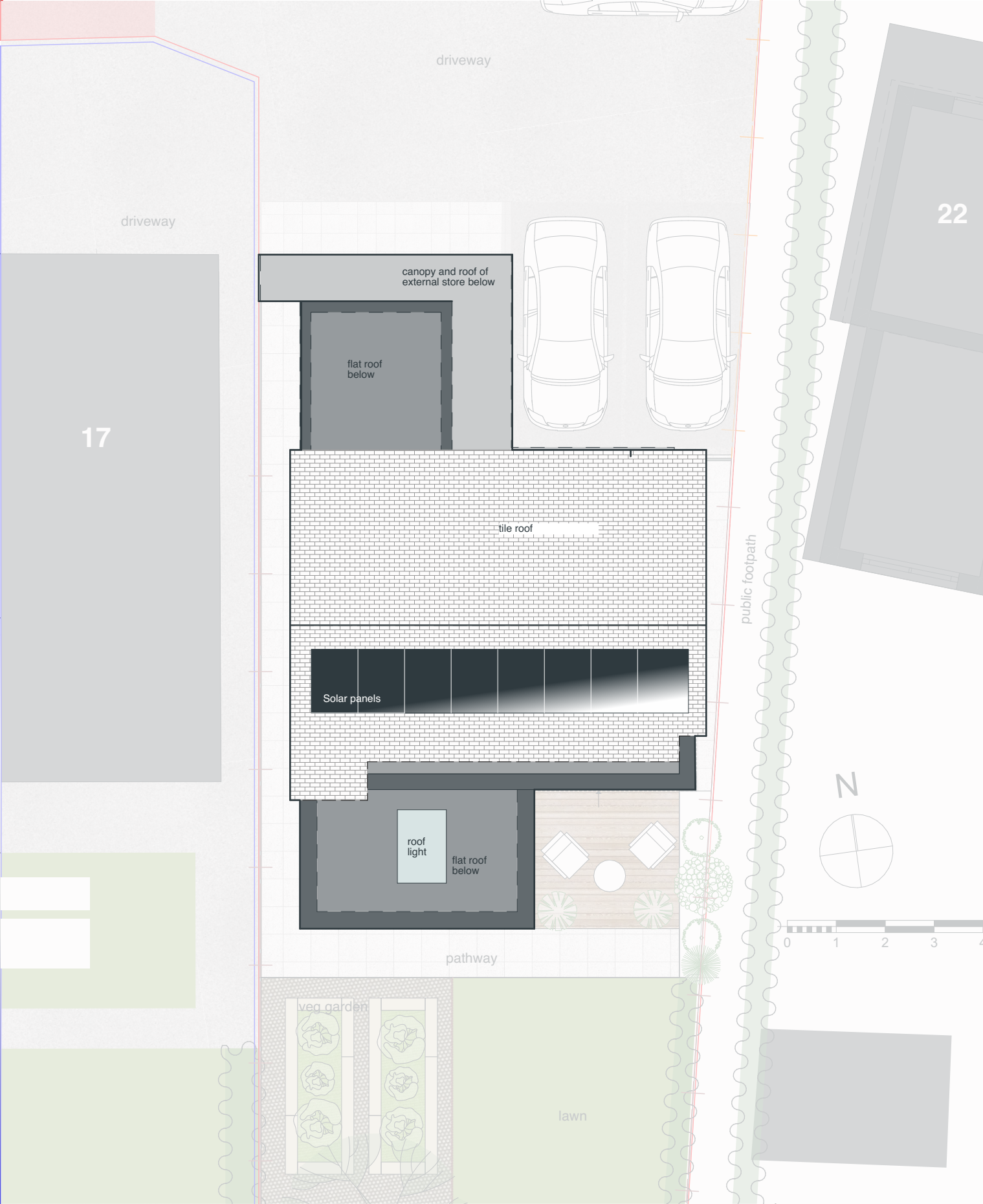
Title:

PROPOSED FIRST  
AND ATTIC FLOOR  
PLAN

Drawing No:

A\_L\_0  
2\_12

Scale: 1:100@A4



Project:

**LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND**

For Jon Wynne

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been imported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been coordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Date:

**28.02.2024**

Revision:

- first issue 05.09.2023  
1- revised design for planning 10.01.2024  
2- revised design for planning 15.02.2024  
3- east boundary updated 28.02.2024

Title:

**PROPOSED ROOF  
PLAN**

**FOR PLANNING PERMISSION**

Drawing No:

**A\_L\_0  
2\_14**

Scale: 1:100@A4



Project:

**LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND**

For Jon Wynne

Date:

15.02.2024

Revision:

1- first issue 05.09.2023

1- revised design for planning 10.01.2024

2- revised design for planning 15.02.2024

**FOR PLANNING PERMISSION**

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been reported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been co-ordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Title:

**PROPOSED NORTH  
(FRONT)  
ELEVATION**

Drawing No:

**A\_L\_0  
3\_10**

Scale: 1:100@A4



KEY:

1. Timber cladding - black
2. Obscured UPVC double glazed window - black frames
3. Red masonry
4. Timber doors to external store- black
5. UPVC double-glazed windows and doors - black frames
6. Close boarded treated timber fence
7. Concrete tile roof in grey
8. PPC aluminium flashings and trims - black
9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
10. Close boarded treated timber gate
11. Composite front door - black

Project:

**LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND**

For Jon Wynne

Date:

**15.02.2024**

Revision:

~ first issue 05.09.2023

1- revised design for planning 10.01.2024

2- revised design for planning 15.02.2024

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**FOR PLANNING PERMISSION**

Generally:

This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been reported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been co-ordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

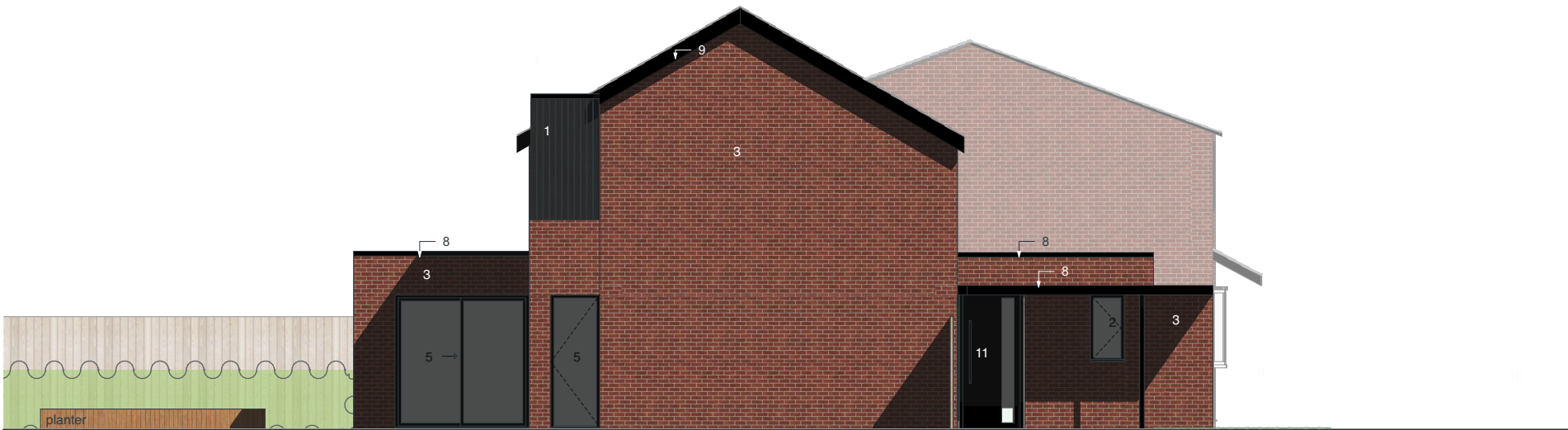
Title:

**PROPOSED EAST  
ELEVATION**

Drawing No:

**A\_L\_0  
3\_11**

Scale: **1:100@A4**



**KEY:**

1. Timber cladding - black
2. Obscured UPVC double glazed window - black frames
3. Red masonry
4. Timber doors to external store- black
5. UPVC double-glazed windows and doors - black frames
6. Close boarded treated timber fence
7. Concrete tile roof in grey
8. PPC aluminium flashings and trims - black
9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
10. Close boarded treated timber gate
11. Composite front door - black

Project:

LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND

For Jon Wynne

Date:

15.02.2024

Revision:

- first issue 05.09.2023
- 1- revised design for planning 10.01.2024
- 2- revised design for planning 15.02.2024

FOR PLANNING PERMISSION

Generally:  
This drawing is copyright and owned by BAND Architects Ltd and is for use on this project unless approved otherwise. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the commencement of any works. All other design team elements, where indicated, have been reported from the consultant's drawings and reference should be made to the individual consultant's drawings for the exact setting out, size and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given elsewhere, must be reported immediately to the Architect for clarification before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically directed otherwise in the specification. Responsibility for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representations of equipment on this drawing have been co-ordinated but are approximations only. Please refer to detailed specifications and/or details or main contractor detailed construction information for actual sizes. Refer to the current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved method statement.

Title:

PROPOSED SOUTH  
(REAR) ELEVATION

Drawing No:

A\_L\_0  
3\_12

Scale: 1:100@A4



KEY:

- 1. Timber cladding - black
- 2. Obscured UPVC double glazed window - black frames
- 3. Red masonry
- 4. Timber doors to external store- black
- 5. UPVC double-glazed windows and doors - black frames
- 6. Close boarded treated timber fence
- 7. Concrete tile roof in grey
- 8. PPC aluminium flashings and trims - black
- 9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
- 10. Close boarded treated timber gate
- 11. Composite front door - black
- 12. Solar panels

LAND ADJACENT TO  
17 AVONSIDE WAY  
MACCLESFIELD  
CHESHIRE  
ENGLAND

For Jon Wynne

Date: \_\_\_\_\_

15.02.2024

Revision:

- first issue 05.09.2023

1- revised design for planning 10.01.2024

2- revised design for planning 15.02.2024

**FOR PLANNING PERMISSION**

Generally:

This drawing is copyright and owned by B&B Architects Ltd and is for use on this project unless otherwise authorised. **DO NOT SCALE THIS DRAWING** printed or otherwise. Contractors must check all dimensions on site prior to the construction of the work. The drawings are made up of several elements, where indicated, have been imported from the consultant's drawings and reference should be made to the consultant's drawings for the relevant details, dimensions and type of components. Discrepancies and/or ambiguities within this drawing, between it and information given by the consultant, or the representation of the work, should be clarified before proceeding. All works are to be carried out in accordance with the latest British Standards / European Norms and Codes of Practice unless specifically stated otherwise in this drawing. The drawings are for the reproduction of this drawing in paper form, or if issued in electronic format, lies with the recipient. Graphical representation of equipment and materials are not coordinated but are approximations only. Please refer to the detailed specifications and/or details or other contractor documents for information on the equipment and materials. For current CDM information where relevant. It is assumed that all works on this drawing will be carried out by a competent contractor, working where appropriate to an approved safety state.

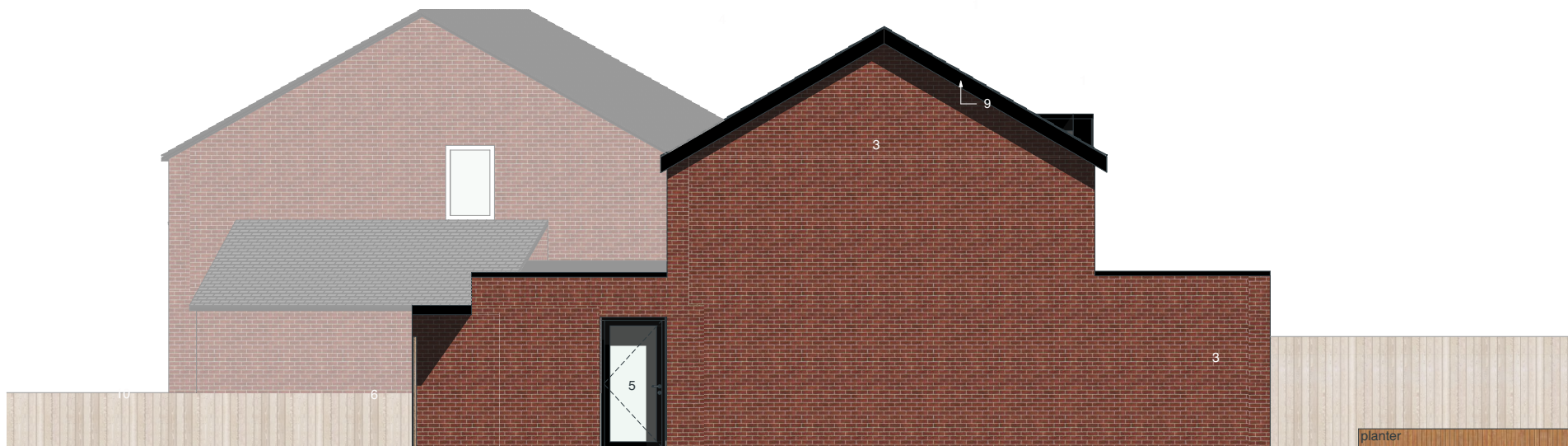
Title:

PROPOSED WEST  
ELEVATION

Drawing No:

A\_L\_0  
3 13

Scale: 1:100@A4



**KEY:**

1. Timber cladding - black
2. Obscured UPVC double glazed window - black frames
3. Red masonry
4. Timber doors to external store- black
5. UPVC double-glazed windows and doors - black frames
6. Close boarded treated timber fence
7. Concrete tile roof in grey
8. PPC aluminium flashings and trims - black
9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
10. Close boarded treated timber gate
11. Composite front door - black